

School District of Webster – Facilities Assessment

May 18, 2026



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Glossary of Key Planning Terms



Facility Assessment

A structured review of existing district buildings to understand **current physical condition** of systems, components, and infrastructure.

- Identifies what exists today and its condition
- Does not recommend solutions or future programming changes

Capital Maintenance / Infrastructure *(used interchangeably)*

Work required to **maintain, repair, or replace aging building systems** to keep facilities functional.

- Typically reflects 1-for-1 repair or replacement
- Based on building condition, not educational vision or redesign

Master Plan (or Master Planning)

A future-focused planning process that evaluates **how facilities should support educational goals, enrollment, and long-term strategy**.

- Educational Adequacy - Incorporates educational space changes (may include additions and renovations).
- Plan to make strategic investments. What do you want the district to look like in 15 years? 25 years? etc.

Capacity

Number of students a classroom or school space is intended to accommodate, based on its size, layout, and intended use.

Potential Referendum Solutions / Options

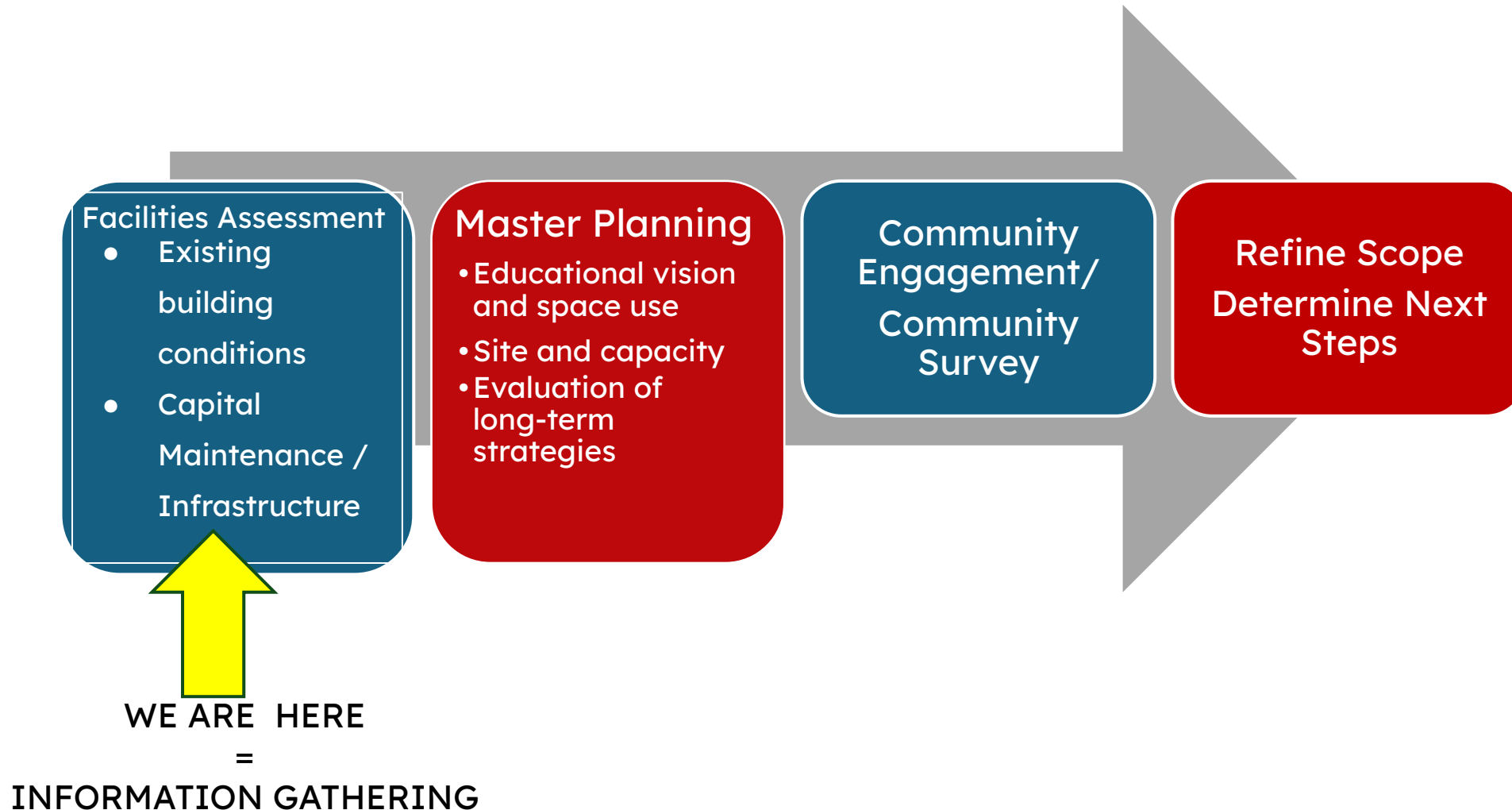
Conceptual options developed from master planning that may combine **facility needs, educational goals, and community priorities**.

- Options may include new construction, renovation, or consolidation
- Items incorporated into referendum options are removed from Capital Maintenance to avoid duplication

These terms represent different steps in the planning process — moving from “understanding conditions” to “evaluating options” to “making decisions.”



Facilities Planning & Decision-Making Process



Facilities Assessment Process



PHASE 1 | PROJECT INITIATION & BACKGROUND RESEARCH

Objective: Establish Project goals, gather existing documentation, and prepare for site assessment

PHASE 2 | FIELD INVESTIGATION

Objective: Perform on-site observations to document existing conditions and identify visible deficiencies

PHASE 3 | ANALYSIS & EVALUATION

Objective: Analyze field data to determine the building's condition, prioritize issues, and identify code or system deficiencies

PHASE 4 | REPORTING & RECOMMENDATIONS

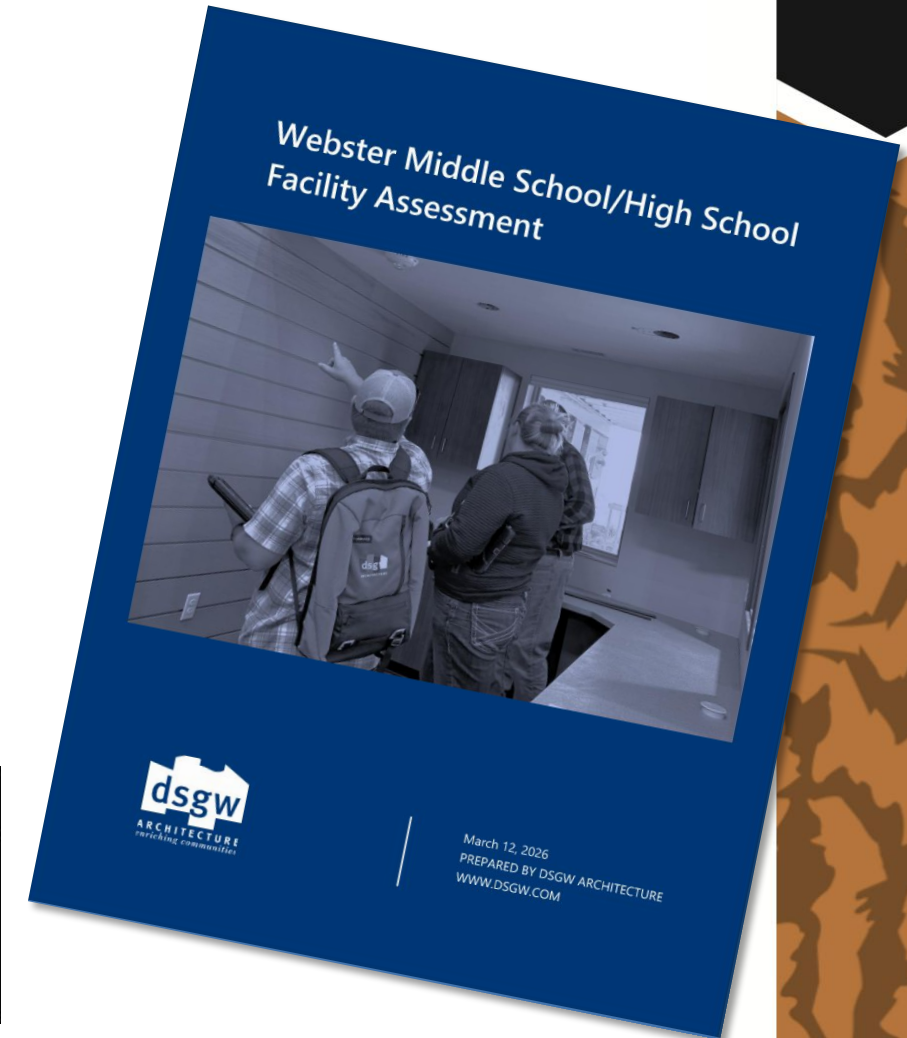
Objective: Summarize findings, provide clear visual documentation, and recommend next steps



Understanding the Facilities Assessment



The purpose of this assessment is to document the condition of the Webster Elementary School and Middle/High School buildings. This information provides the necessary data to enable the school district to make informed decisions regarding how to best allocate funds to address any repairs, upgrades, or replacements as part of the School District's long-range planning.





Facilities Assessment Findings

Summary:

- The buildings have been well maintained but are in need of regular maintenance.
- Elementary:
 - Overall, building shows typical signs of age wear and tear.
 - Accessible features are mostly non-existent, with few exceptions.
 - HVAC is irregular throughout the building.
 - Exterior materials have deteriorated and in some locations (at downspouts) are falling off building.
 - Roofing has a spray coating and we understand further work to extend warranty will be conducted this summer. Future replacement will require further investigation to confirm existing conditions.
- High School/Middle School:
 - Overall, building is in good condition with wearable items being the most in need of attention.
 - Floor slab movement largest issue.
 - Exterior Insulation System (EIFS) is in need of repair, cleaning, and joint maintenance.
 - Roofing membrane is in need of attention in the near future.



Facilities Assessment Findings

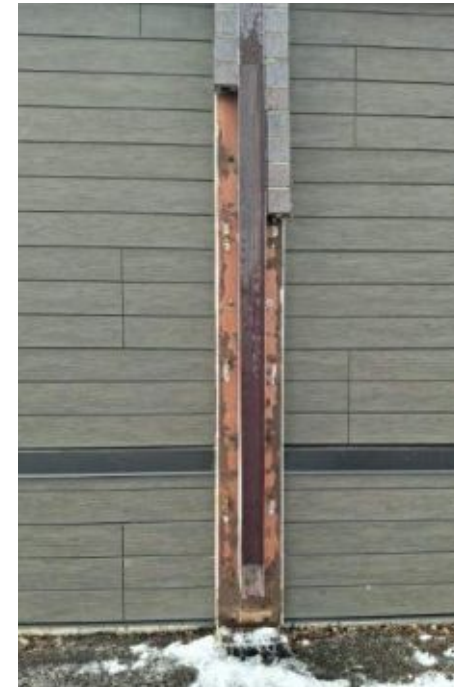
What do we mean by Poor, Fair, or Good?

- **Poor:** Needing attention within a 3 year timeline.
 - Item is heavily worn
 - Is in a condition that could lead to additional damage of other components
 - Requires regular maintenance
- **Fair:** Needing attention in a 4-10 year timeline.
 - Item is aesthetically worn, damaged, or outdated.
 - Item shows signs of physical wear and will increase as time goes on.
- **Good:** No action needed. New or close to new.



Facilities Assessment Findings

- Elementary major findings:
 - Flooring is generally heavily worn.
 - Ceiling tiles are often stained or sagging.
 - Potential asbestos in the ceiling tile in the hallway outside kindergarten rooms.
 - Accessibility features inadequate
 - Ventilation in many classrooms is non-existent. Air handling units are in poor condition.
 - All exterior caulk joints need replacement
 - Exterior downspout design is causing severe deterioration of exterior envelope.



Facilities Assessment Findings



- High School/Middle School major findings:

- Floor slab movement continually damages sheet linoleum flooring.
- Skylights show water damage from leaks or significant condensation.
- Heavily used wood doors as well as casework show damage.
- Roof membrane is separating from parapet, ballast is missing in many locations.
- All exterior sealant needs replacement
- EIFS finish is in poor condition in certain locations.





CONCEPTUAL ESTIMATING PROCESS

TOTAL PROJECT COST
What's Included?

WE ARE
HERE

- Materials & labor
- Design & construction fees
- Design & construction contingency
- Inflation
- Allowances

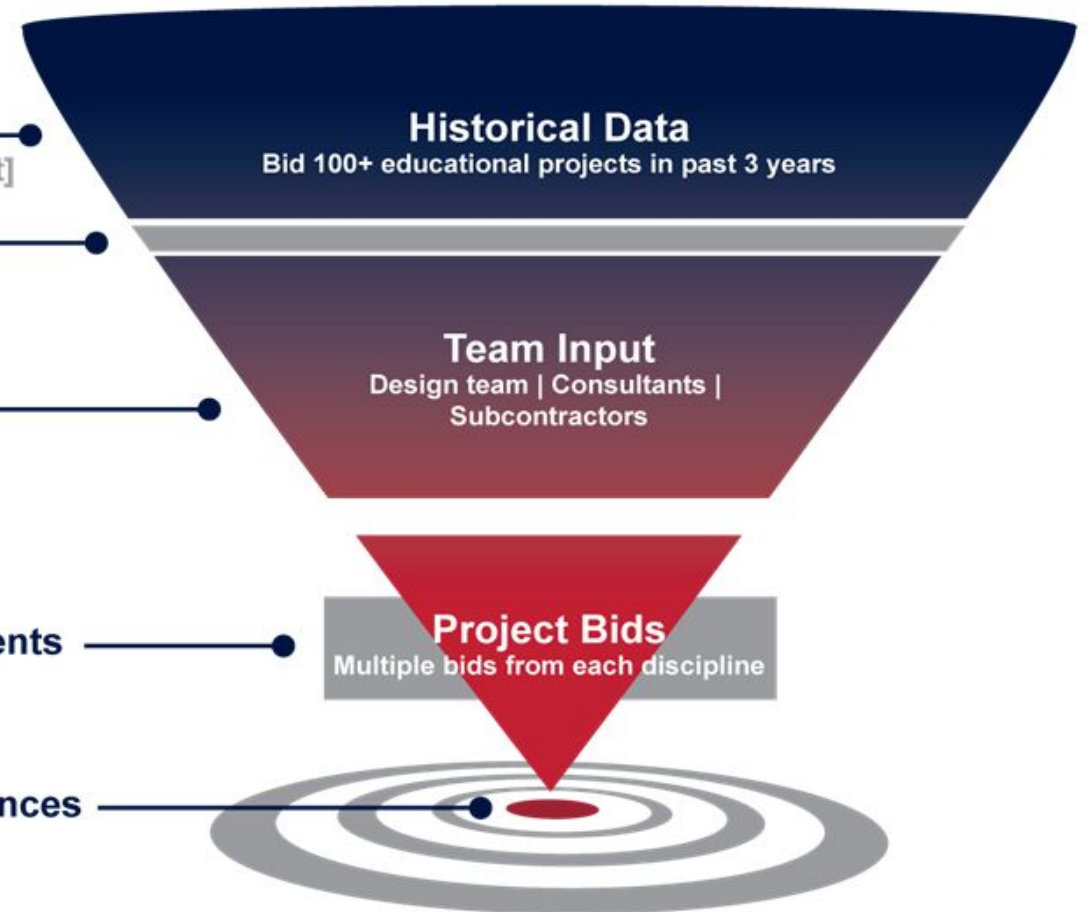
Master Planning —●—
[Establishing the Budget]

Successful —●—
Referendum

Pre-Construction —●—
[Validating the Budget]

Construction Documents —●—
[Confirming the Budget]

Construction Commences —●—



School District of Webster

5/4/2026



Options

	Immediate - 3 Years	4 - 10 Years
	POOR	FAIR
Capital Maintenance Items - Poor / Fair		
Webster Elementary School	\$4,936,475	\$2,633,939
Webster Middle / High School	\$1,826,891	\$4,280,628
Capital Maintenance Items Total	\$6,763,366	\$6,914,568
Master Planning - Building Projects on-going		
Webster Elementary School		
Existing Bldg. Renovation - Secure Entrance Modifications	\$0	\$0
Future Building Code Consideration - Fire Protection	\$0	\$272,790
Total	\$0	\$272,790
Webster Middle / High School		
Existing Bldg. Renovation - Computer Lab Re-Purpose	\$0	\$122,021
Existing Bldg. Renovation - Business Ed. Re-Purpose	\$0	\$632,281
Existing Bldg. Renovation - Secure Entrance Modifications	\$0	\$0
Future Building Code Consideration - Fire Protection	\$0	\$1,027,409
Total	\$0	\$1,781,711
Grand Total	\$6,763,366	\$8,969,069

Facility Assessment Cost & Summary



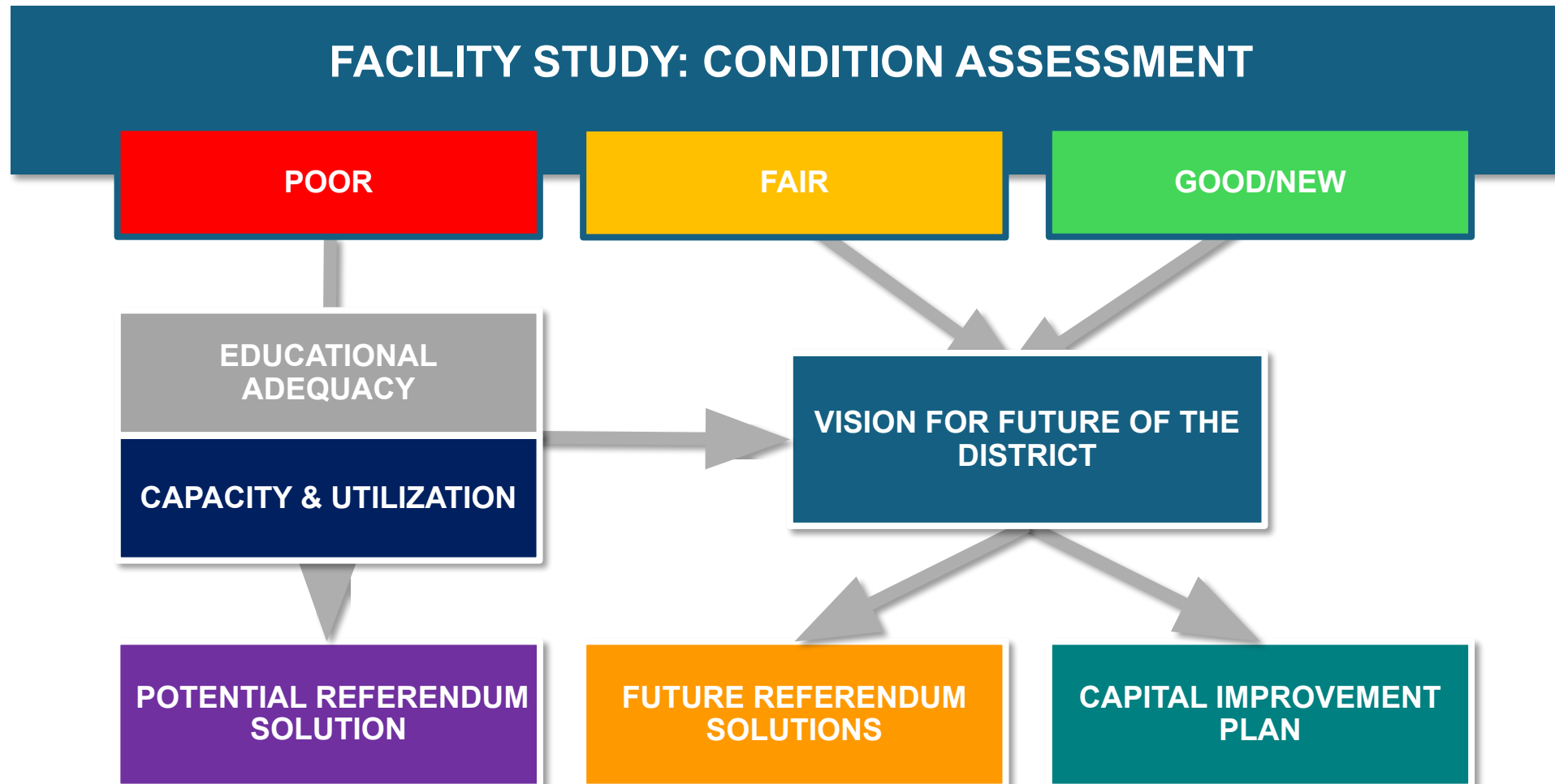
What it is | How it's Developed | How it's Used

- This is a status **snapshot** of current district building conditions — not a solution or full design plans.
 - It reflects what was **assessed**, not what must be done
- It establishes a **baseline of capital maintenance/infrastructure needs** for the next 10 years
- The summary is supported by detailed backup sheets.
- Only items rated POOR or FAIR are included and priced.
 - 1 = POOR → 0–3 year immediate bucket
 - 2 = FAIR → 4–10 year planning window
- Costs reflect **1-for-1 repair or replacement**, not redesign or programmatic change.
- Some items may move into Potential Referendum Option Development as future decisions are made.
 - When items move into they are removed from Capital Maintenance to avoid double-counting.
- Items labeled “Owner’s Items” are allowance amounts carried on behalf of the district and do not include soft costs.
- All numbers assume stand-alone projects and **2028 construction**.

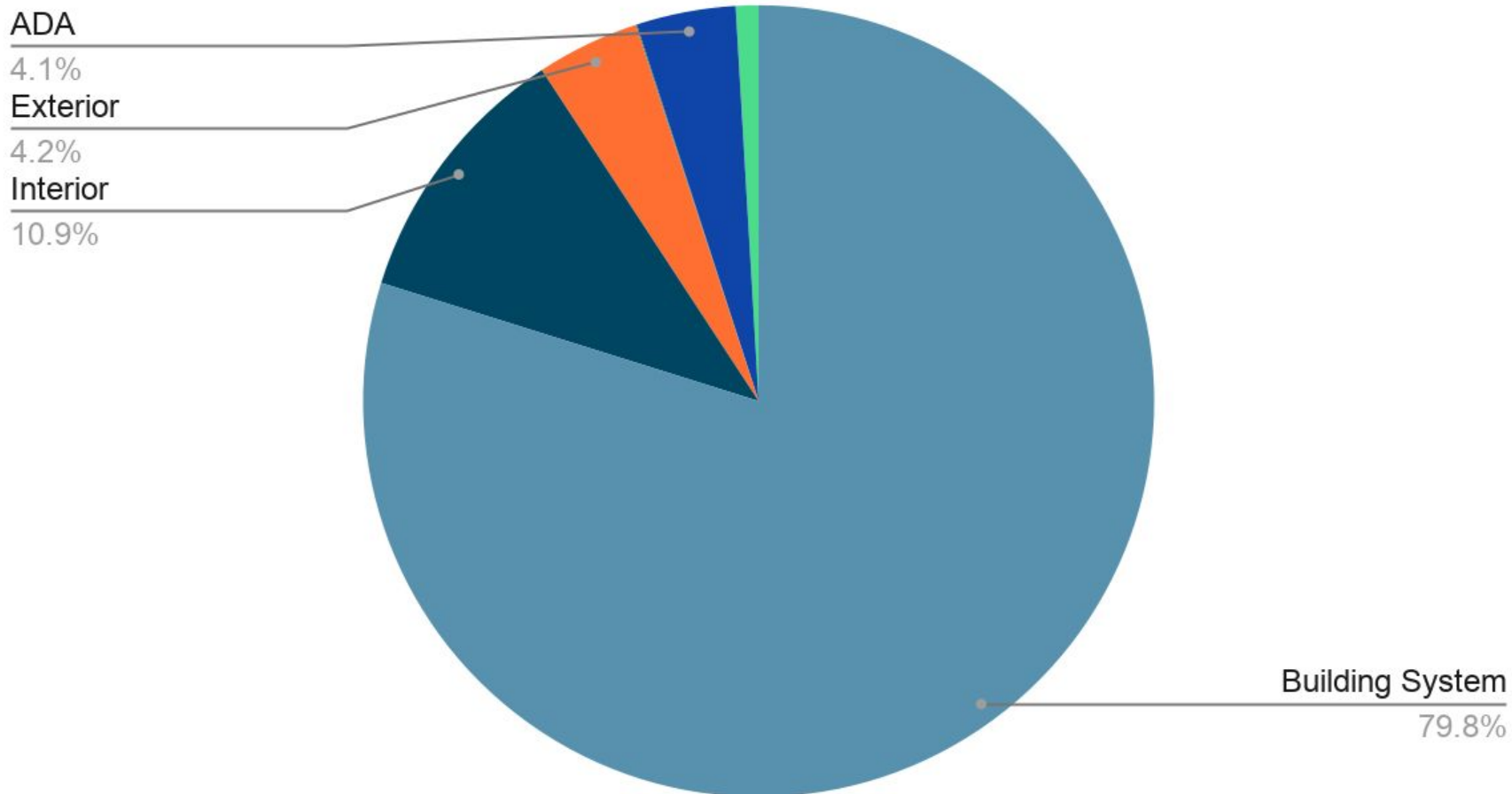




Building Your Master Plan



Identified Immediate Needs at ES



Total = \$4,936,475



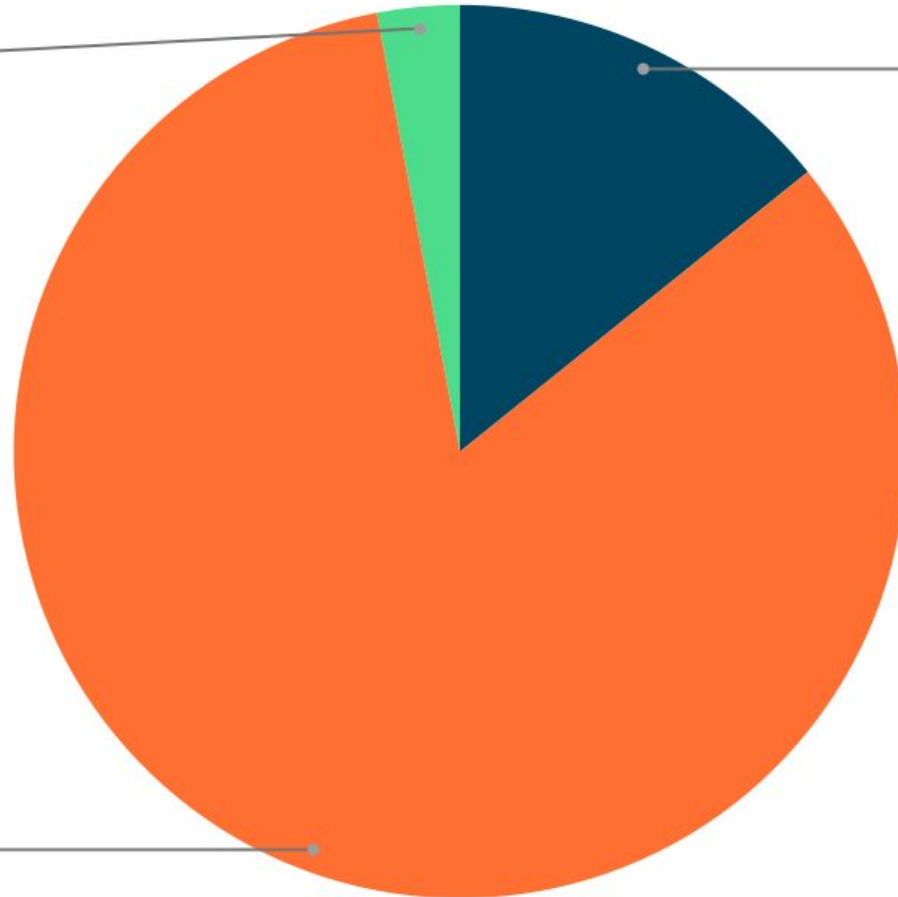
Identified Immediate Needs at MS/HS



Owners Items
3.0%

Interior
14.2%

Exterior
82.8%



\$1,826,891



Executive Summary



The Elementary building is driving more immediate cost pressure, with significantly higher “poor condition” needs.

The Middle/High School represents the larger long-term investment, with higher “fair condition” costs.

Both buildings have been well maintained, but many systems are reaching the end of their useful life—notably, there are minimal immediate building system needs at the MS/HS, while the Elementary carries the majority of near-term system replacements.



Next Steps

- **Staff Engagement** Interviews (Fall 2026)
- **Capacity Study**
- **Financial Scenarios** from Baird
- DSGW to create high-level plans for **Secure Entrance** modifications and other **Education Adequacy** items
- **Community engagement** strategy (ongoing)

Questions?

